

**Land Development Proposal
for
Zones 3, 4, 5 and 7
The Property Encompassing
The Bridgewater Channel
and
The London Bridge**



**Developed by Lake Havasu City Staff
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State Lands Near and Around the London Bridge and Bridgewater Channel



The map above indicates eight different zones. Each zone represents a particular division of property which is specific to State Lands. This proposal however, will only address the following zones:

Zone 3 is to the east of the Bridgewater Channel and is approximately 46.14 acres in size. It currently is leased and utilized as a golf course for the Queens Bay Resort.

Zone 4 is to the west of the Bridgewater Channel and just south of the London Bridge. It is approximately 5.1 acres of vacant land.

Zone 5 is approximately 24.51 acres of vacant land. It is basically surrounded by McCulloch Blvd. to the north and Beachcomber Blvd. and the roadway for London Bridge Beach to the west, south and east portions of the property.

Zone 7 is approximately 10.5 acres and is currently developed as London Bridge Beach and is recommended to remain as such.

Zone 3

Zone 3 encompasses approximately 46.14 acres.

The property covers the area where the Queens Bay Golf Course currently exists and runs along the southeast side of the Bridgewater Channel.

It also borders the north portion of Rotary Park and has two condominium projects along its eastern edge.



Zone 3 Overall Conceptual Planned Development

The conceptual development plan of Zone 3 provides a variety of components as shown on the drawing below. Some of the features include:

- A new hotel built along the side of the existing lake of the Queens Bay Golf Course.
- A new four to five story mixed use occupancy with the lower levels being shops, offices, restaurants and the upper units being residential units.
- A secondary channel being created to allow for additional waterfront property and a public river walk area for entertainment and public access.
- With the new channel, a new island is created with shops and restaurants on it with footbridges and a service bridge to and from the island for easy public access.
- A new resort and convention center built along the north border of Rotary Beach.



The following four pages provide a closer look at the four key components of the development plan for Zone 3. Those components being:

- 1) A new hotel along the existing golf course lake (Page 6).
- 2) A proposed river walk called "The River Walk at The London Bridge" (Page 7).
- 3) A proposed new island called "The Island at London Bridge" (Page 8).
- 4) A new resort and convention center at Rotary Park (Page 9).

New River Walk at the London Bridge

Zone 3

The largest redevelopment within Zone 3 would be the creation of an 80' wide secondary channel. This channel would create an open air, public accessible river walk with shops, restaurants, and open areas for street entertainers and events. The river walk would be fashioned in an English theme and have trees for shade, landscaping to add color, and open areas to provide an environment where the general public would feel welcome and want to spend quality time with their families.

Along the east side of the river walk are two four to five story buildings with variable heights and a distinct, yet appealing appearance that would add to the river walk experience. These buildings would be of mixed-use occupancy with the first two to three floors being commercial retail or office space and the upper levels being residential or high-end apartments.

New Parking Lot
A possible parking garage could be built in this area.

Mixed Occupancy Building of Various Heights and Shapes

Access Road to Lower Level at Water's Edge

New River Walk at the London Bridge

New River Walk

At the extreme south end of the river walk, a public dock is provided with 30 boat slips with the possibility of coin-operated meters or permits sold to gain some revenues.



“The Island” at London Bridge River Walk Zone 3

The Island, which is created by providing a new river walk, would have a large open area at the south end for a park and a place where special events can take place. On the island are open public areas and walkways around the entire island. Shops, restaurants and nightclubs are recommended to be constructed on the island to provide a place where nightlife can come alive in Lake Havasu City.

A service bridge connects the mainland to the island so deliveries and public safety (fire trucks, police cars, ambulances, etc.) have direct access. The service bridge also provides store owners the opportunity to deliver and pick up items from their establishments without any additional worries.

At both the north and south ends of the newly developed island are two footbridges with elevators and stairs in circular towers that emulate castle turrets. The footbridge at the south end also extends over to London Bridge Beach. Both footbridges shall provide the same clearance as the London Bridge so large boats such as the Dixie Bell can still maneuver the waterways.



Riverfront Restaurants



Outdoor Dining

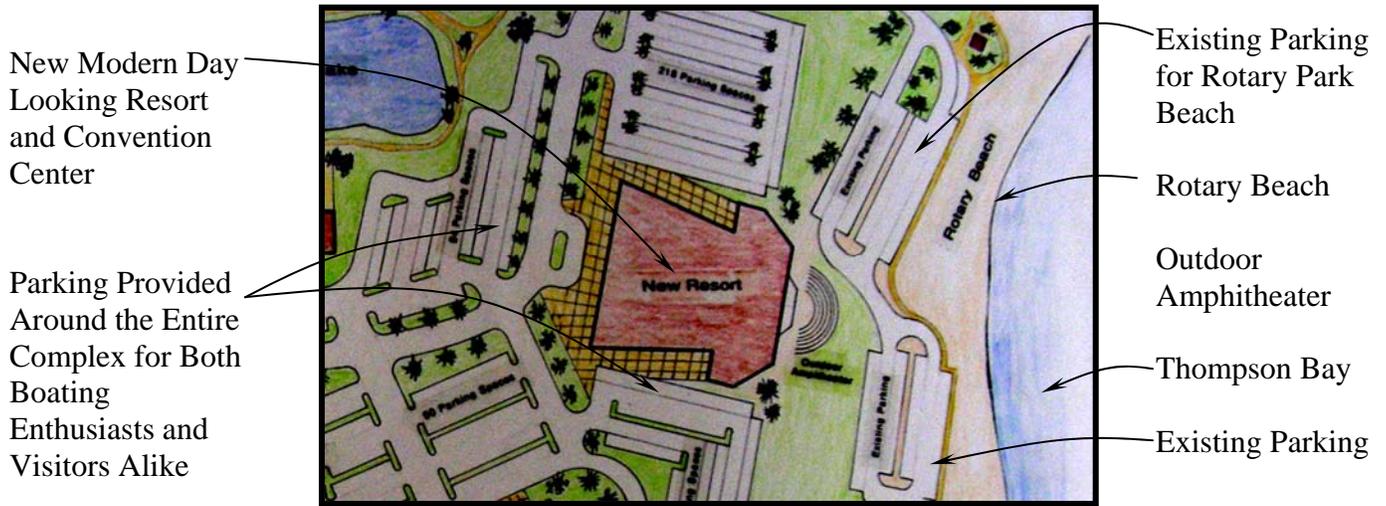
“The Island” At London Bridge River Walk

Open Area for General Public

New Resort and Convention Center at The Beach Zone 3

As part of Zone 3, a new 150-200 plus room resort and convention center is proposed to be constructed along Rotary Park Beach with access to both the lake and the newly created river walk.

The resort could include a convention center capable of supporting large boating groups, outdoor enthusiasts and a variety of venues. The resort includes an outdoor amphitheater where a variety of outdoor concerts and shows could be performed while enjoying both the outdoors and the lake.



New Resort and Convention Center At The Beach

The resort is proposed to be a five to six story complex with the pool area located on the roof over the convention center. The convention center floor is located at the level of the existing parking area of Rotary Park Beach North.

Zones 4, 5 & 7

Zones 4, 5 & 7 encompass approximately 40.81 acres.

These zones are located along the west side of the Bridgewater Channel and extend from McCulloch Boulevard at the north end to Thompson Bay toward the south.

Along the west side of the property is the existing Island Inn and the Lake Havasu Marina.



Conceptual Plan of Zones 4, 5 & 7

The conceptual development plan of Zones 4, 5 & 7 provide a variety of components as shown on the drawing below, some of the features include:

- A new shopping area near the Agave Inn along the Bridgewater Channel as well as additional parking for the general public.
- A new parking garage near the existing dog park where the general public can be assured ample parking is provided so they can enjoy events, shopping, dining and other activities along the Bridgewater Channel and the Island across the way.
- A new hotel and convention center with a timeshare condominium resort operated by one property owner is proposed to be developed in the main area of Zone 5.
- A footbridge with an elevator is provided from London Bridge Beach to the mainland and the Island. The elevator and stairs are within a circular tower that emulates a castle turret.
- At the intersection of McCulloch Blvd. and the existing entrance to London Bridge Beach area (north portion of Zone 5) is a new mini-market with fuel pumps, three new nationally-known restaurant chains are proposed.
- Two small strip malls are proposed for tourists and citizens of Lake Havasu to shop and visit while at the beach or staying in one of the hotels on the Island.



Conceptual Development Plan of Zone 4

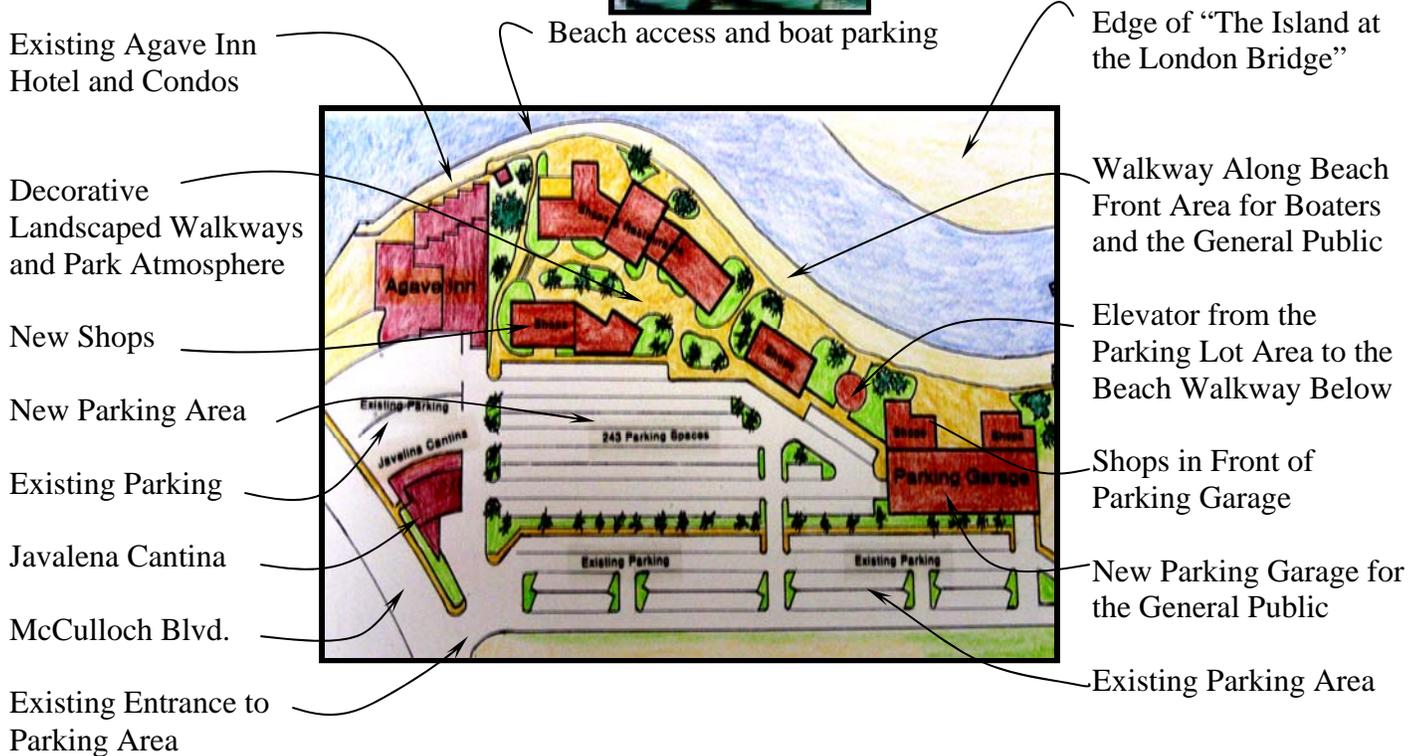


Zone 4 is approximately 5.1 acres of open land just south of the London Bridge. It sits along the west bank of the Bridgewater Channel and has the Agave Inn to its north boarder, city parking lot along its west boarder and the existing dog park and London Bridge Beach at its south boarder.

New Shops, Boutiques, and Restaurants at The Bridge

Proposed for this area are a variety of buildings with shops, boutiques, eateries, and restaurants for both citizens and tourists alike. The buildings are recommended to be constructed at various heights with an English theme.

Access to the shops and restaurants can be obtained from the parking areas along the west side of the shopping area and from the beach front along the Bridgewater Channel to the east.



Zone 5

Zone 5 is approximately 24.51 acres of open land.

It sits within the boundaries of McCulloch Boulevard to its north, Beachcomber Boulevard and the roadway around London Bridge Beach to its west, south and part of the east borders.

In addition, the Isle Condos sit to the northeast corner of the area.



Restaurant Row, Mini-Market Corner and The Island Strip Malls North End of Zone 5

At the north end of Zone 5, where McCulloch Blvd. meets the existing entrance into London Bridge Beach, three main components are proposed to be developed, those being:

- Restaurant Row is proposed to have three nationally known restaurants which will establish a central location on the island where citizens and tourists alike can dine.
- A corner mini-market with fuel stations is proposed. This mini-market and fuel station would keep the boater in mind with large areas to maneuver large boats in and around the fuel pumps while making it even easier for anyone to fill up in their private or personal vehicles.
- Last, but not least, two small strip malls are proposed at this corner of Zone 5.

Restaurant & Lounge



Restaurant & Lounge



Restaurant Row with (3) Key Restaurant Sites

New Parking Area



Two Small Strip Malls



Restaurant & Lounge

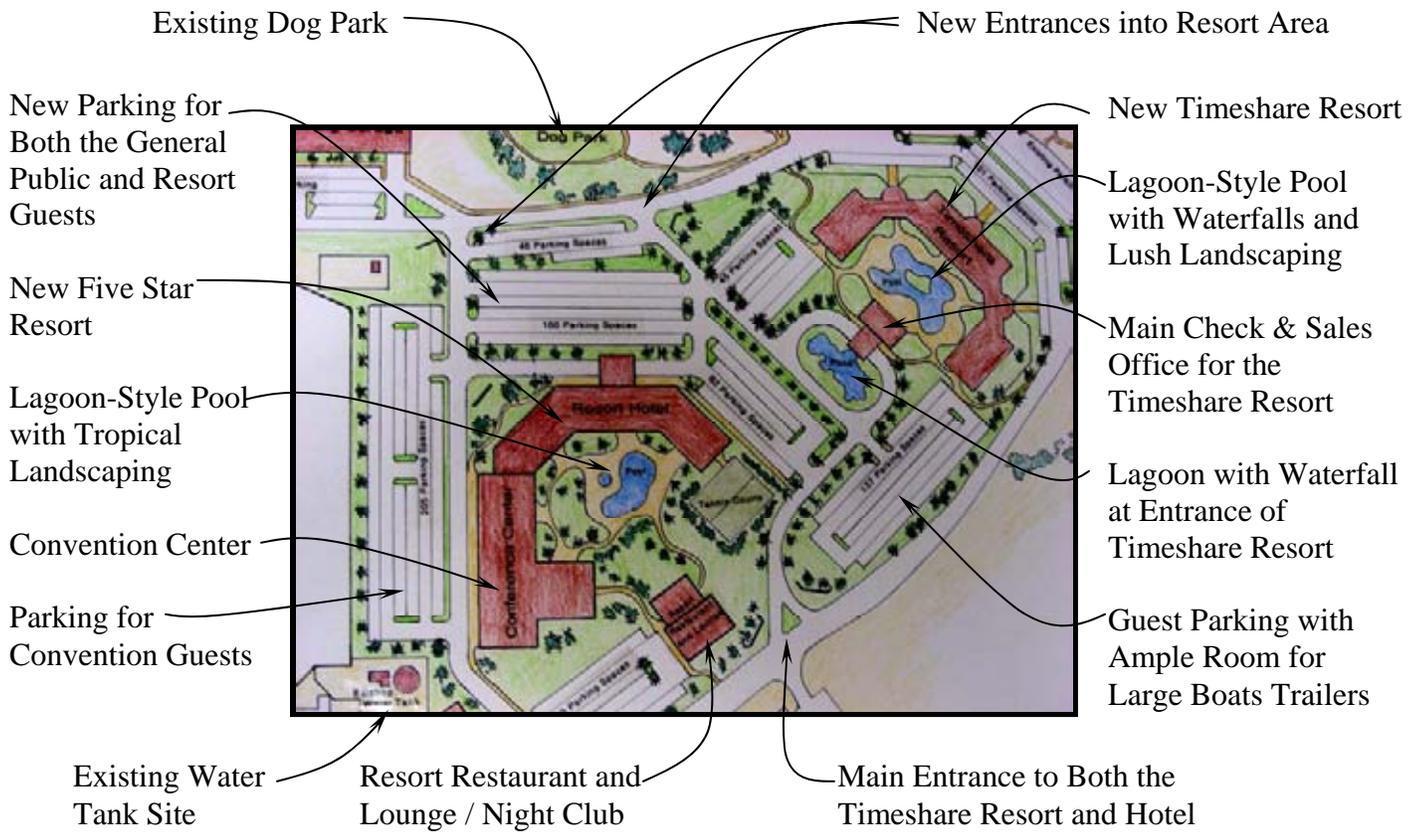


New Mini-Market

Restaurant Row, Mini-Market Corner and The Island Strip Malls

Five Star Hotel & Convention Center with Adjacent Timeshare Condominium Zone 5

Within Zone 5, and within the confines of the road which leads to and around London Bridge Beach, a proposed development of a five star hotel & convention center along with an adjacent timeshare condominium resort under one management company. There are several entities included within the property. They include large swimming pools, restaurants and lounges, tennis courts and other amenities.



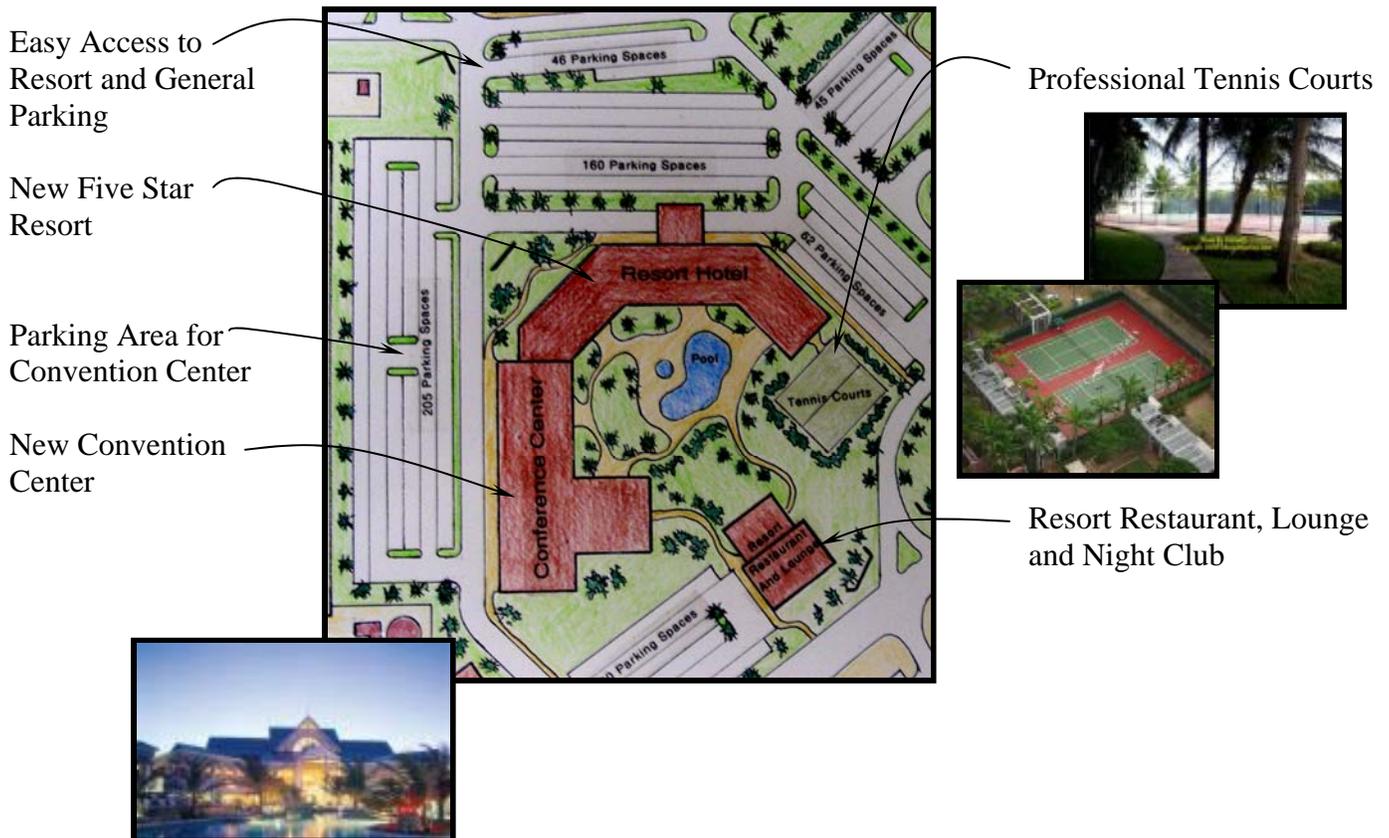
Five Star Hotel & Convention Center

Zone 5

Several high-end luxury resorts are capable of operating both a five star resort hotel and timeshare condominiums for distinguished guests. It is feasible to see a resort of this stature built on the Island and form a lush tropical setting for tourists, large-scale conventions, and local citizens to enjoy. The resort would be a desirable destination for citizens and tourists alike. It would be within walking distance to all the amenities along the Bridgewater Channel, the newly developed "Island at London Bridge," and the newly developed London Bridge River Walk, not to mention all the existing amenities such as the London Bridge Beach area and anything else currently within walking distance of the London Bridge.

In addition, future access to the marina may be sought so guests would be able to launch their boats, and be able to park their vehicles with trailers back on site.

Other hotels in the area, especially the Island Inn Resort just west of the proposed project would gain from the development by housing additional guests and visitors who may not be able to stay at the convention site and wish to be within walking distance to the events, shops, beach, and all the other possible locations mentioned above.



Resort Owned Timeshare Condominiums

Zone 5

The resort-owned timeshare condominiums are proposed to sit at the south end of Zone 5 near London Bridge Beach. Timeshare units would have access to the beach, all amenities near and around the Bridgewater Channel, the newly developed Island at London Bridge, the newly developed London Bridge River Walk and all the existing amenities in the general area within walking distance from the resort.

The ground level units along the south side would have private yards off their units due to a proposed retaining wall being built along the south side of the property, keeping the resort approximately 12 to 15 feet above the parking level of London Bridge Beach below.

The resort would host a tropical, lagoon-style swimming pool with landscaping to complete the overall look and design. The resort would also have a separate building for timeshare offices and main lobby for those checking into the resort as well as obtaining information about Lake Havasu City.

The parking around the resort would be designed for easy access for those who have large water craft and need room to maneuver their vehicles and trailers. Additionally, an access to the existing marina would be proposed for resort guests and easy access to the water.



London Bridge Beach

Zone 7



Zone 7, also known as London Bridge Beach, is currently a family-friendly park with open public beaches, facilities for basketball, volleyball, playgrounds, and open grass areas for everyone to enjoy. The only recommended addition to the London Bridge Beach would be the footbridge with elevator and stairs at the South end of the beach. The footbridge, elevator and stairs allow the general public to gain access to “The Island” and the newly developed “London Bridge River Walk” to the east. The footbridge is also ADA accessible so no one is limited to having access from one side of the channel to the other or enjoying the river walk experience and dining on “The Island.”

Parking along London Bridge Beach has been enhanced to allow more spaces for the general public and those staying at the adjacent timeshare and hotel resorts

New “Castle Turret” Stair
And Elevator for Footbridge
To “The Island”



Existing
Basketball and
Volleyball
Courts

Existing Dog
Park



Existing
Beach

Improved
Parking Areas

New Timeshare Resort
(See conceptual plans within
this document.)

London Bridge Beach